





ABODE



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A truly exceptional, fully renovated countryside home enjoying uninterrupted panoramic views across open countryside, set along the ever-desirable Bretby Lane. This beautiful cottage has been transformed throughout to an outstanding standard, blending character, craftsmanship and contemporary elegance in a way that is incredibly rare to find. The result is a home that not only looks stunning, but one that offers an effortlessly calm, comfortable and inspiring lifestyle — from peaceful dog walks straight from the door, to relaxed evenings watching the sunset roll across the fields.

Offering a versatile layout of generous reception spaces, a breath-taking kitchen, a striking garden room overlooking the landscape, three superb bedrooms, two luxurious bathrooms, an impressive boot room and utility, and extensive parking behind gated access, this home simply stands apart. Properties of this calibre, in this setting, seldom reach the market.



Accommodation

Ground Floor

The front door opens directly into a beautifully designed boot room, the perfect everyday entrance for country living. There is space for coats, boots and dog leads, along with a view of the countryside beyond. From here, the house naturally flows in two directions.

To the left, a door leads into the impressive garden room – a large, light-filled space currently used as an additional sitting room and home gym. Wide glazed bi-folding doors open straight onto the rear terrace, framing sweeping views over the surrounding fields. It is an ideal space for morning workouts, relaxed reading, or simply sitting with a coffee watching the weather move across the landscape. Off the garden room is a practical laundry room with fitted units and appliance space, a stylish shower room with contemporary tiling and curved glass enclosure, and a separate office – perfect for home working, hobbies or quiet study.

Back through the boot room, to the right, you step into the showpiece kitchen which forms the heart of the home. Finished with dark, shaker-style cabinetry, curved cabinetry to the island, stone work surfaces and high-quality integrated appliances, this is a kitchen designed both to cook and to gather in. A run of windows looks directly out over open countryside, making everyday tasks feel that bit more special. There is plenty of preparation space, an island with seating, and a natural connection to the rest of the ground floor.

A doorway leads through to a small inner hall, giving access to the two principal reception rooms. The dining room sits to the front, with stone-style flooring continuing through, space for a large table and a cottage-style window to the garden. It works brilliantly

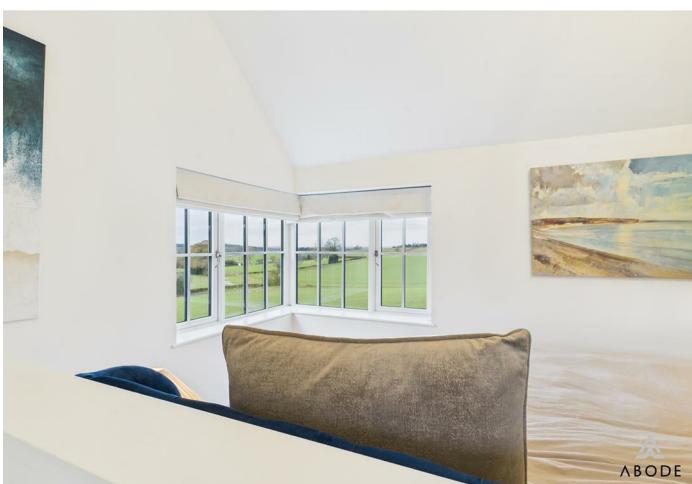


for both family meals and more formal entertaining.

Opposite is the living room, a warm, inviting space with a log-burning stove set beneath a chunky timber mantel and a wide window framing yet more field views. The room comfortably accommodates a large corner sofa and additional furniture, making it the place to gather on winter evenings after long walks from the lane.

First Floor







Stairs rise from the ground floor to a charming first-floor landing, with curved ceilings and panelled walls that give a gentle, characterful feel. The landing branches off to three generous bedrooms and the main bathroom.

The master bedroom is located at the end of the house and offers an impressive amount of space. Large cottage windows look directly out across uninterrupted countryside, giving the room a wonderfully open, uplifting feel from the moment you wake. The view is framed perfectly from the bed, allowing you to watch the fields change with the seasons without even stepping outside.

To the rear, a second double bedroom enjoys a beautiful outlook across open countryside. With a feature fireplace and soft green tones, it has a quietly romantic feel and makes a lovely guest bedroom or teenager's room.

The third bedroom is another well-proportioned room, currently arranged as a dressing room and additional wardrobe space, but perfectly capable of serving as a further double bedroom or a generous study.

The bathroom is finished to a very high standard, combining a freestanding bathtub with a separate walk-in shower featuring dramatic stone-effect tiling. Bespoke vanity storage, quality fittings and warm flooring complete the space, giving it a boutique hotel feel.

Outside

Outside, the property continues to impress. Electric-style gates open onto a wide block-paved driveway which provides excellent off-street parking for several vehicles. The house itself has real presence, with its rendered exterior, cottage-style windows and timber porch giving a timeless, understated look.

A picket fence and pathway lead to a lawned front garden



with planted borders and a seating area under the covered veranda – a lovely spot to enjoy a drink while looking across the garden towards the lane. To one side, there is a further landscaped area with a timber pergola and substantial garden shed, creating plenty of space for outdoor dining, growing beds or children's play.

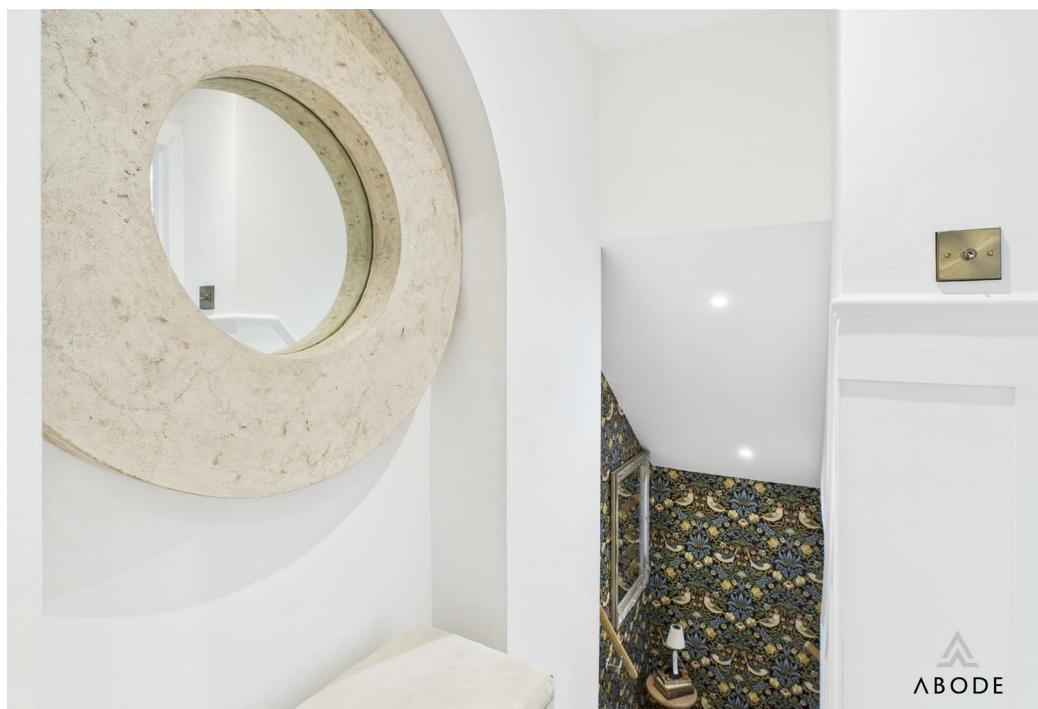
To the rear, accessed directly from the garden room, a stone terrace stretches along the back of the property and looks out over completely open fields. This is where the setting really comes into its own. There is ample room for outdoor furniture, loungers and a barbecue, and the sense of space and privacy is superb. It is easy to imagine long summer evenings spent here with friends, watching the sun dip behind the trees, or crisp winter mornings with a hot drink, listening to nothing but birdsong.

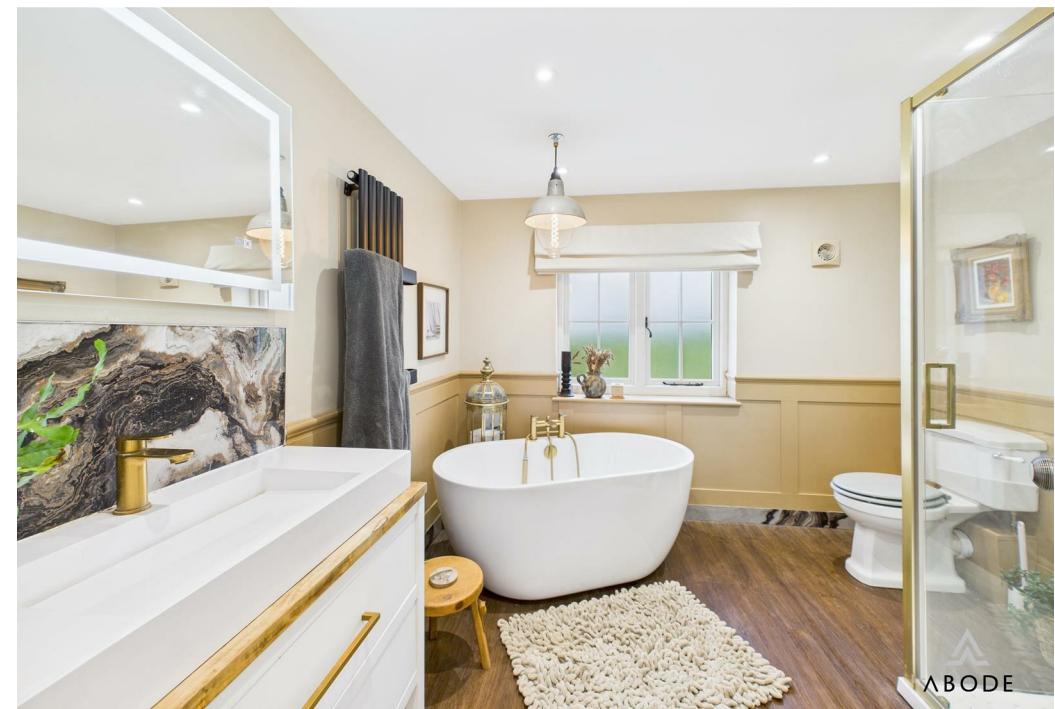
Location

Bretby Lane is a highly regarded semi-rural address, offering a genuine countryside feel while still being extremely well connected. From the front gate you can step straight out onto quiet lanes and footpaths, ideal for dog walking, running or gentle weekend strolls through the fields.

Despite the peaceful setting, everyday amenities are close by. Burton upon Trent, Swadlincote and Ashby-de-la-Zouch are all within easy reach by car, offering supermarkets, shops, cafés and restaurants, while the A38 and A50 provide straightforward links towards Derby, Lichfield, Birmingham and beyond. There are well-regarded local schools in the wider area, along with popular pubs and country inns for Sunday lunches and evenings out.











Approximate total area⁽¹⁾

155.7 m²

1674 ft²

Reduced headroom

1.3 m²

14 ft²



(1) Excluding balconies and terraces

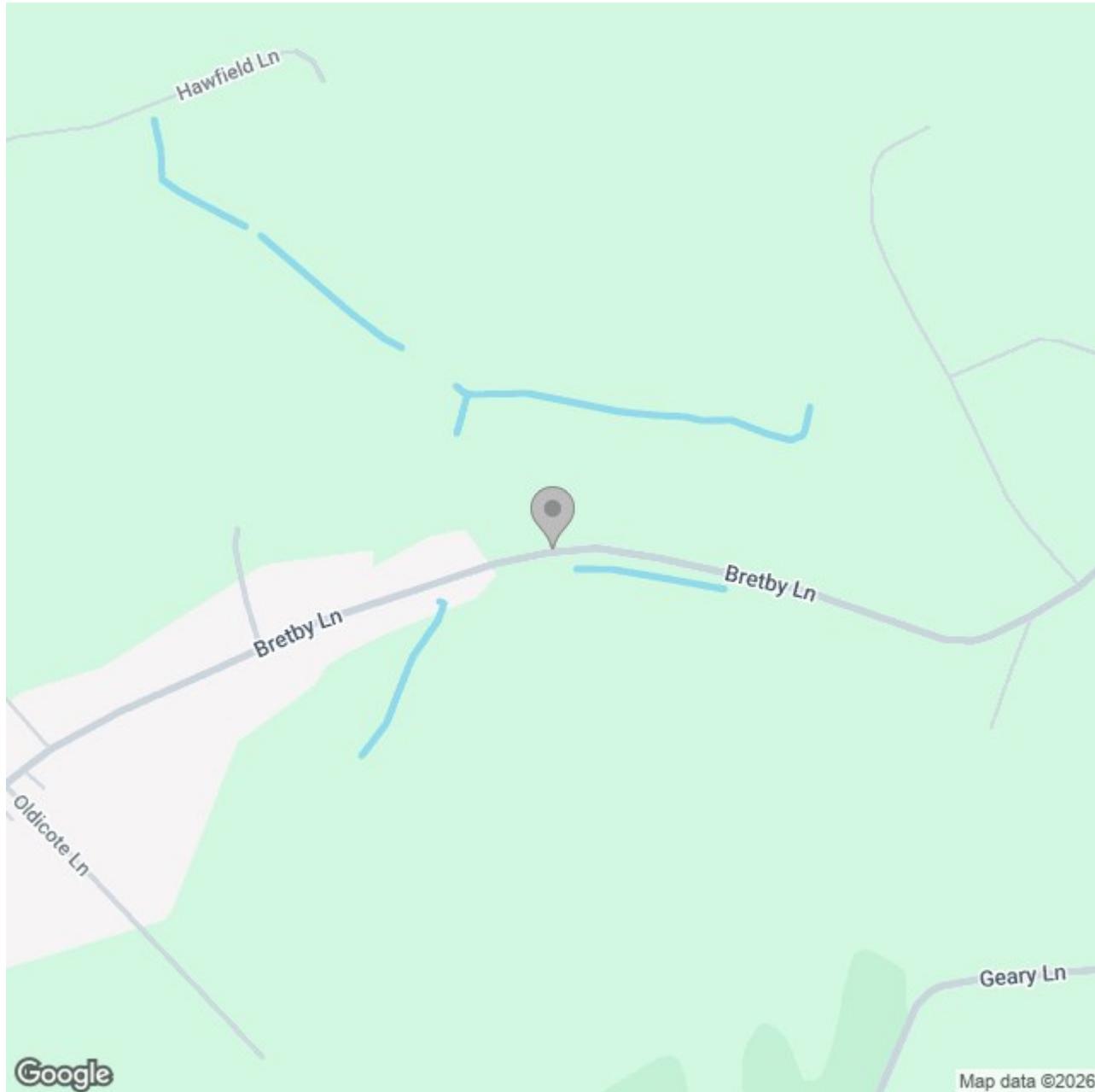
Reduced headroom

..... Below 1.5 m/5 ft

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

GIRAFFE360





Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	